# City of Plainwell

Brad Keeler, Mayor Lori Steele, Mayor Pro Tem Todd Overhuel, Council Member Roger Keeney, Council Member Randy Wisnaski, Council Member



"The Island City"

<u>Department of Administration Services</u> 211 N. Main Street

Plainwell, Michigan 49080 Phone: 269-685-6821

Fax: 269-685-7282

Web Page Address: www.plainwell.org

#### **Agenda**

Planning Commission
City Hall Council Chambers
August 16, 2023
6:30 Pm

- 1. Call to Order
- 2. Pledge of Allegiance
- 3. Roll Call
- 4. Approval of Minutes: 08/02/2023 Planning Meeting
- 5. Chairman's Report
- 6. Public Comment
- 7. New Business:

A. Site Plan Review – Mosaic Distillery

- 8. Old Business:
- 9. Reports and Communications:
  - a. Council minutes: 7/24/23
- 10. Public Comments
- 11. Staff Comments
- 12. Commissioners/Council Comments
- 13. Adjournment

# CITY OF PLAINWELL MINUTES

#### Planning Commission Wednesday, August 2, 2023

- 1. Call to Order at 6:30 pm by Colingsworth
- 2. Pledge of Allegiance was given by all present.
- 3. Roll Call:

Present: Rachel Collingsworth, Lori Steele, Jay Lawson, Jim Higgs, Gary Sausaman

Excused: Stephen Bennett, Jim Higgs

4. Approval of Minutes: 05/17/2023

Motion to approve minutes was made by Sausaman and seconded by Lawson. All in favor vote to approve minutes and place on file.

- 5. <u>Chairperson's Report:</u> None
- 6. Public Comments: None
- 7. New Business:

A. Public Hearing on Master Plan – Open Public Hearing at 6:32 No discussion and no public was present Closed Public Hearing at 6:33 pm Motion made by Steele recommending the updated Master Plan to City Council for final approval, seconded by Sausaman. All in favor vote. Motion passed.

B. Site Plan Approval for Island City Hospitality, Inc. Holiday Inn Express Siegel presented the staff review of the site plan. A motion made by Sausaman to approve the Site Plans as presented, with conditions that the Public Safety concerns re: fire suppression/sprinkling are met was seconded by Lawson. All in favor vote. Motion passed.

- 8. Old Business: Accept David Collard's resignation and place on file
- 9. Reports and Communications: 04/24, 05/08, 5/22, 6/12, 6/26, 7/10 were reviewed and placed on file.
- 10. Public Comments: None
- 11. <u>Staff Comments:</u> Siegel, Community Development Manager provided an update on the new businesses in downtown
- 13. Commissioner Comments: None
- 14. Adjournment: Colingsworth adjourned the meeting at 6:46 p.m.

Minutes submitted by Denise Siegel, Community Development Manager

#### 1. General Notes & Requirements

#### A. General Requirements:

- 1. The contractor shall conform to the contractor's regulations as specified by the owner.
- 2. All construction shall be in accordance with all applicable Federal, State and Local Codes and Ordinances.
- 3. Contractor shall field verify all dimensions before construction begins and shall be responsible for same.
- 4. Work shall be planned and scheduled to minimize disturbance of other trades and the Owner's operations.
- 5. Prior approval must be obtained from the Project Engineer to substitute materials or equipment.
- 6. All materials and equipment shall be protected from weather damage.
- 7. Keep the area in a neat, safe and orderly condition at all times.

B. References: The following reference documents, their commentaries and the standards referenced therein, apply to design, fabrication and construction practices and shall be adhered to with regard to the work on the drawings:

- I. Michigan Building Code, 2015 Edition (MBC 2015).
- 2. Applicable Loss Prevention Data Handbook (as required by insurance carrier).
- 3. American National Standards Institute.
- 4. Building Code Requirements for Structural Concrete (ACI 318 latest edition).
- 5. Specification for Structural Concrete for Building (ACI 301 latest edition).
- 6. Cold Weather Concreting (ACI 306 latest edition).
- 7. Hot Weather Concreting (ACI 305 latest edition).
- 8. ACI Detailing Manual (ACI 315 latest edition).
- 9. @Specifications for the Design of Cold Formed Structural Steel Members (AISI, latest edition).

#### Existing Building:

Building area: 9,236.1 square feet

Construction type: 5B, unprotected, partially sprinkled

Existing front, 2 story structure with basement:

3,951.6 sq ft / not included in construction, 8" masonry block fire separation.

Existing middle, I story structure, slab on grade (small old boiler room basement (NW corner) apprx 200 sq ft, exit thru

3,684.5 sq ft, 8" masonry fire separation all sides

South Shed building: I story wood frame with some masonry exterior bearing walls, 2,600 sq ft

#### Use Group: A-2

Allowable area per Table 506.2 - 6,000 sf

Increase for open area: (506.3) Fully open all sides greater than 30' = 75%

 $6,000 \times 1.75 = 10,500$  sq ft Exits: exit occupancy @ 100 sq ft /occ = 219 Actual # exit = (2) 3' door North - Max exit distance 70' Middle area fully open east side when operational South 2 exists

Rest rooms: Women - 3 - unisex

Actual occupant load: 100

#### Finishes:

North: drop ceiling north half North: exposed ceiling south half

South: (shed) Exposed masonry or wood as exists

OVERALL FLOOR PLAN

8" MASONRY WALL (EXISTING) EQUAL MIN 2 HR FIRE RATING —

WOOD STUD WALL (2 HR. FIRE RATED) -

A2.01

WITH (2) LAYERS F" TYPE X GYPSUM BOARD EACH SIDE FULL HEIGHT

115'-9"

VENUE AREA

49'-1 1/2"

8'-0" 5'-0"

21'-10 1/2"

STORAGE

WORK SHOP

A2.01

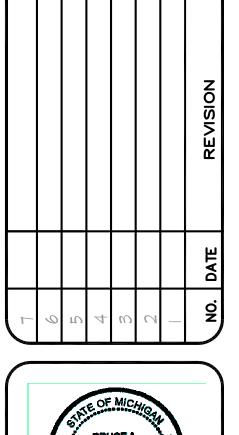
WOOD STUD WALL (2 HR. FIRE RATED)

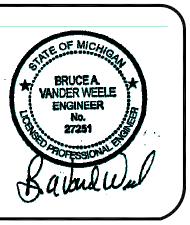
29'-8 1/4"

10'-0"

19'-3 1/2"

WITH (2) LAYERS & TYPE X GYPSUM BOARD EACH SIDE FULL HEIGHT





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- 3 COMP SINK

- CO2 / SYRUP

CLOSET

EXISTING BUILDING

- EXISTING MASONRY WALL MIN 2 HOURS FIRE SEPARATION

FULL WIDTH AND HEIGHT

PLAN FLOOR

XREFs. PLOT SCALE ISSUE DATE: 5/15/23 DRAWN BY: SHEET NO. PROJECT NO.

10420

- GREASE TRAP SEE SITE PLAN 2 HR RATED -DOOR North SCALE 1/8" = 1'-0

FIRE RATED ROLLING

- ELECTRICAL

A2.01

34'-7"

WATER TANK 1000L RESERVE

COOLER

FURNACE CLOSET

13'-6"

23'-4"

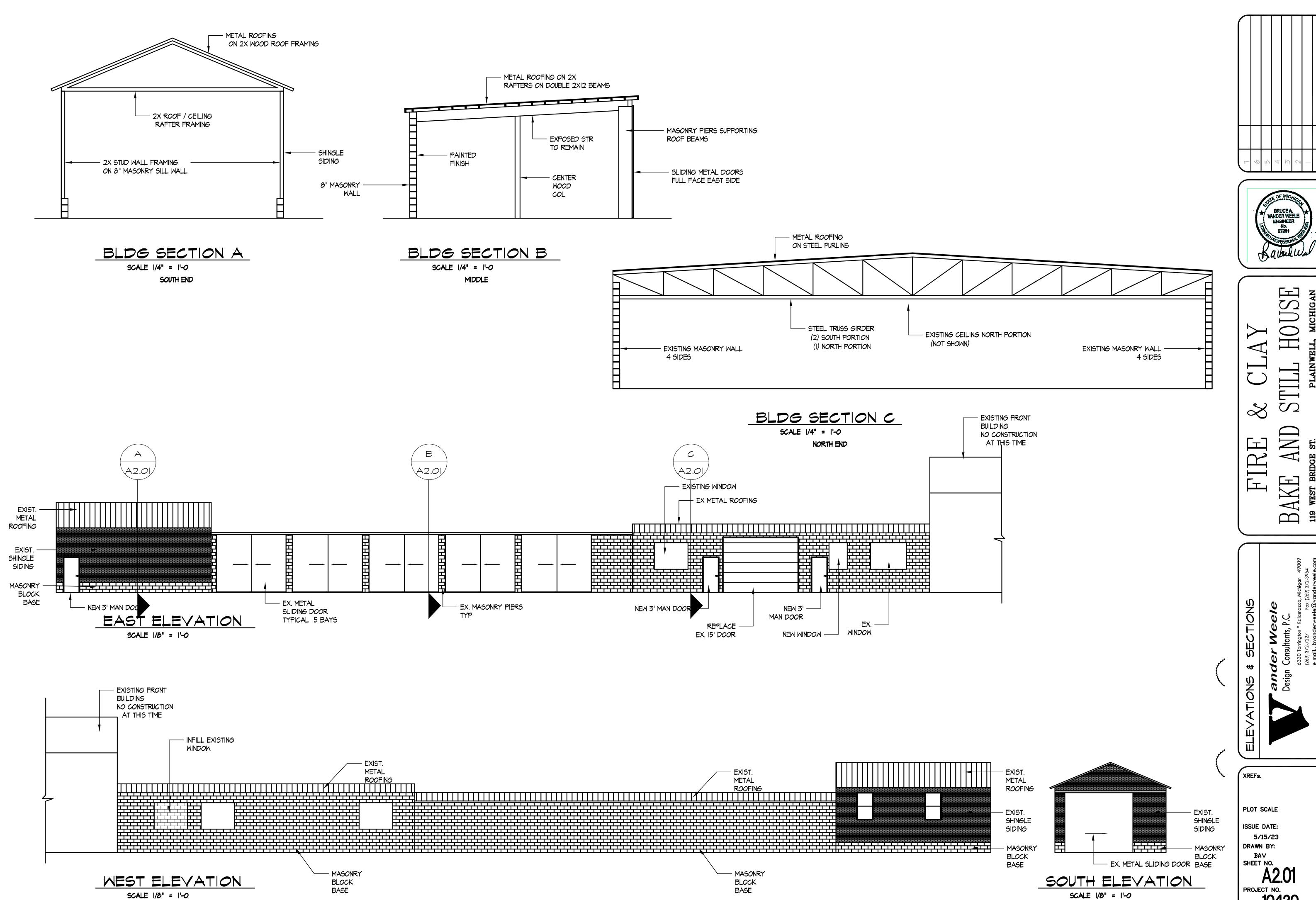
4'-2 |/4"

5'-0"

- HOOD WITH

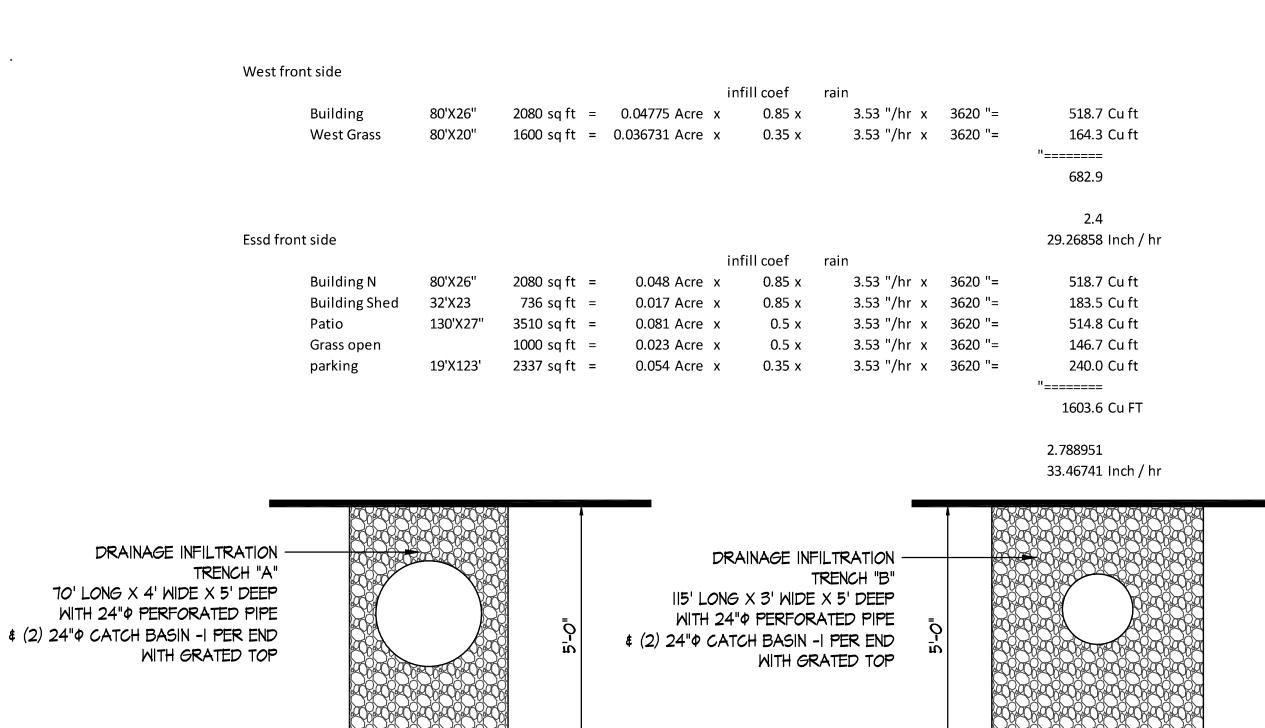
EXISTING BUILDING

FIRE PROTECT O



PROJECT NO. 10420

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DRAINAGE INFILL

TRENCH "A"

5'-0

TRENCH "B"

DRAINAGE INFILL

#### A. GENERAL REQUIREMENTS:

GENERAL NOTES:

- 1. The contractor shall conform to the Owners regulations and safety requirements. 2. Work shall be planned and scheduled to minimize disturbance of other trades.
- 3. Contractor shall field verify all dimensions before construction begins and shall be responsible for same.
- 4. All construction shall be in accordance with all applicable Federal, State and Local Codes and Ordinances.

4'-0

B. PROTECTION

1. Contractor to provide all barricades, fencing, lights, signs, etc. to protect the site. 2. Contractor to provide all necessary shoring, etc. to protect the existing and new construction.

#### Location: 119 West Bridge, Plainwell, Michigan 49080 Bridge Street West LLC 179 5 Lake Doster, Plainwell, Michigan 49080

Mark Meszaros

PH. 269-420-8186

LEGAL DESCRIPTION:

COM SW COR LOT 20 TH S 89DEG 29' 52" E 132' TO POB TH N OODEG 55' 24" W 122.04' TH N 89DEG 29' 48" W 48.5' TH N OODEG 29' 39" E 10' TH N 89DEG 29' 48" W 0.5' TH N OODEG 29' 05" E 132' TH S 89DEG 29' 48" E 70.25' TH S OODEG 23' 50" W 118' TH S 89DEG 29' 48" E 14.57' TH S OODEG 29' 07" W 14' TH S 89DEG 29' 48" E 35' TH S OODEG 05' 47" W 10.42' TH N 89DEG 29' 26" W 19.09' TH S OODEG 31' 07" W 121.58' TH N 89DEG 29' 52" W 48.91' TO POB 0.39 A. BLOCK I THOMPSON'S SECOND ADDITION TO THE VILLAGE (NOW CITY) OF PLAINWELL (87) DESCRIPTION UPDATED TO MATCH SURVEY 4562/493 TAX MAP: 0.38 AC - 16,745 sq ft

Parcel # 55-350-001-00

Zoning: CBD - Central Business District

#### Existing construction:

South Building: 3,000 sq ft, wood frame, slab on grade - Construction Type 5B -non sprinkled Use Group S2 low hazard (south end - 32') / Assembly A-2 - Middle 56' / Storage S-I - bonded barrel storage (THIS AREA IS SPRINKLED)

Middle Building: 3,668 sq ft, masonry load bearing with steel roof str -Construction Type 3B - Sprinkled

Use group F (bonded distillery) / A-2 restaurant / kitchen North Building: 3,952 sq ft, Wood frame, timber floor structure - 2-story plus full basement (No construction this area) - Construction Type 5B -non-sprinkled

Contractor to provide all required permits including soil erosion permit (if req'd) and all control measures as required in the City of Portage. Provide protection with silt fence around catch basins during all construction phases. Contractor to obtain SESC permit.

Trash: Dumpster service shared with restaurant across alley

# Site / seating area Lighting:

Inside venue: (8) ceiling mt led plus lighting at stage (varies) Exterior venue: 60 LED lights in hanging cables, down directed to keep light on site

Building Utilities: Site is served with overhead electricity from ex service, Gas from road, sanitary from road, new fire main  $(8^{\circ})$  \$ | 1/4" water service from alley

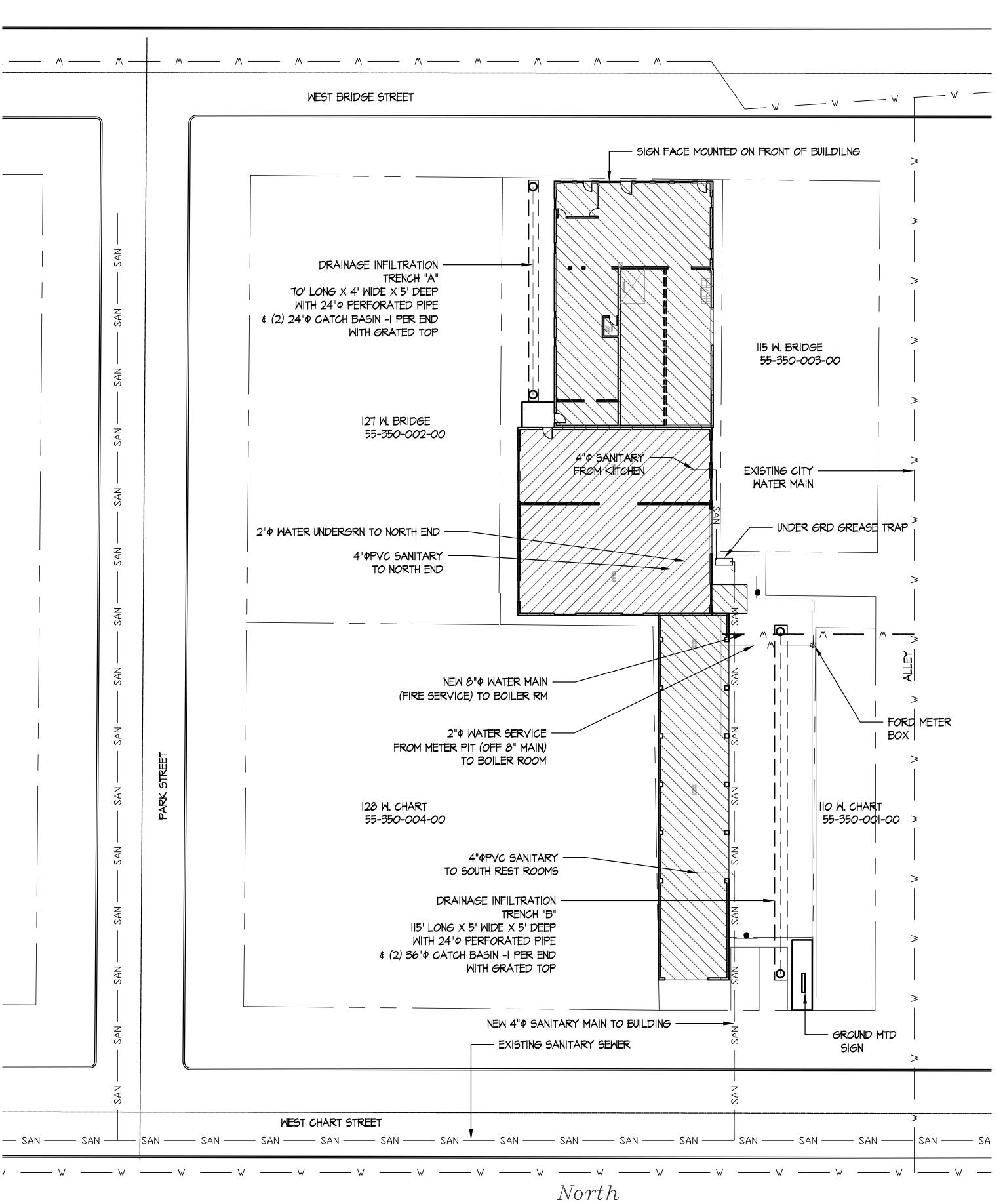
New sign SE corner - (1) Ground mounted - (1) face mounted on front of building All signs shown on plan will comply with the City of Plainwell sign requirements All signs will be approved under separate permit

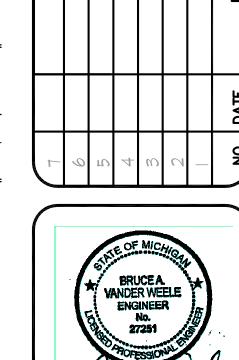
# Landscape area:

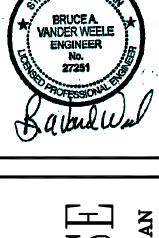
from City of Plainwell

Seating area is 20' wide  $\times$  125' long within a wood fence and some pergola install (6) deciduas trees (2.5" caliper) Red Maple and (6) 36" tall shrubs (yews) within seating area (fenced in) install (4) deciduas trees (2.5" caliper) Red Maple and (10) 36" tall shrubs (yews) along south end

Drainage: install (2) collection areas with (2) new catch basins with interconnected 24"\$\phi\$ pipe in stone infiltration bed North along west wall: 70' long  $\times$  3' wide  $\times$  5' deep with 24'' connected pipe in stone infiltration bed South along under seating area: II5' long  $\times$  5' wide  $\times$  5' deep with 24" $\phi$  connected pipe in stone infiltration bed







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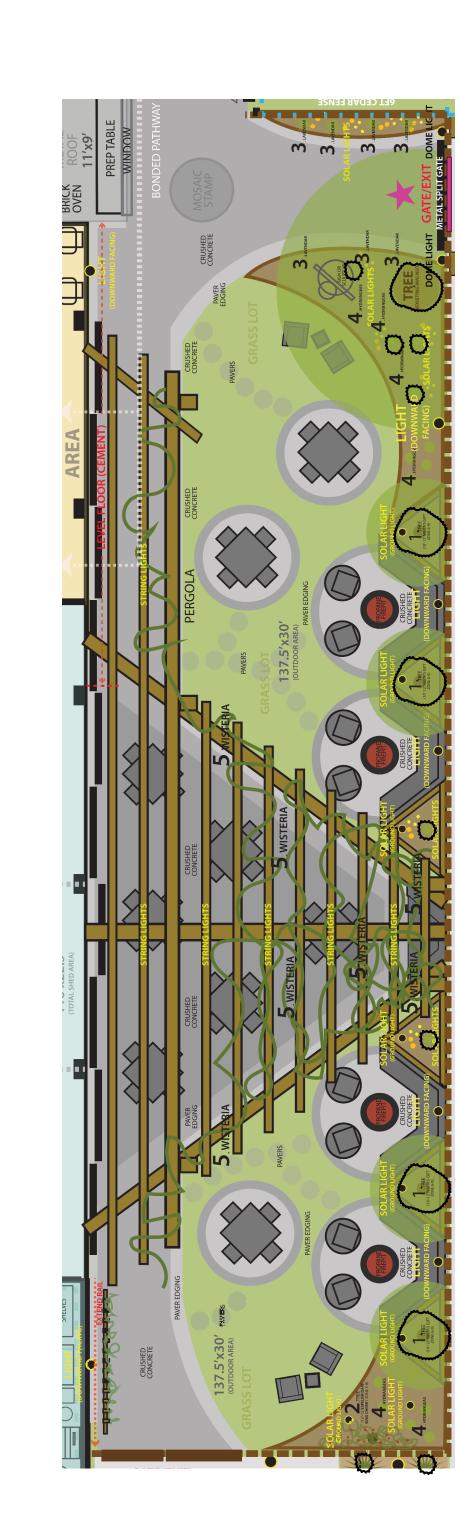
PLOT SCALE SSUE DATE: 5/15/23 PRAWN BY: SHEET NO. PROJECT NO.

10420

XREFs.

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OVERALL SITE PLAN SCALE I" = 20'-0





The Mosaic Company submits the following master plan for parking with the following consideration: As a multi use building, this plan considers the following descriptors from the city parking ordinance when calculating the parking requirement: Descriptor letters B,D,N,O and T. Calculations are weighted according to square footage of each use:

PHASE 1 projections: (TOTAL square feet = 8,798)

Parking Required = 36 Spots

Parking Spots Identified: 123

N. Open Air businesses: (1 per 600 sf)

Square feet of building usage = 4,125

Parking spots required = 7

O. Restaurant Carry out: (1 per 100 sf)

Parking spots required = 7

O. Restaurant Carry out: (1 per 100 sf)

Square feet of building usage = 359

Parking spots required = 4

T. Cocktail lounges and Taverns: (1 per 75 sf)

Square feet of building usage = 1,631

Parking spots required = 22

B. Light and limited manufacturing: (1 per 500 sf)
 Square feet of building usage = 944
 Parking spots required = 2

 D. Warehousing: (1 per 2,000 sf)
 Square feet of building usage = 1,361
 Parking spots required = 1

Available Parking Identified: In the order in which we surmise they would be utilized:

Mosaic Private Parking = 15 Spaces

City Parking - Main Street / Alley Lot = 10 spaces

Chart St. Street Parking = 10 spaces

Bridge St. Street Parking = 22-23 spaces

City Parking - Chart Street Lot = 47 spaces

Park St. Street Parking = 19 spaces

#### LANDSCAPE PLANS

1. **NIKITA'S GIFT PERSIMMON** TREE 10-12' (ZONE 6-9)

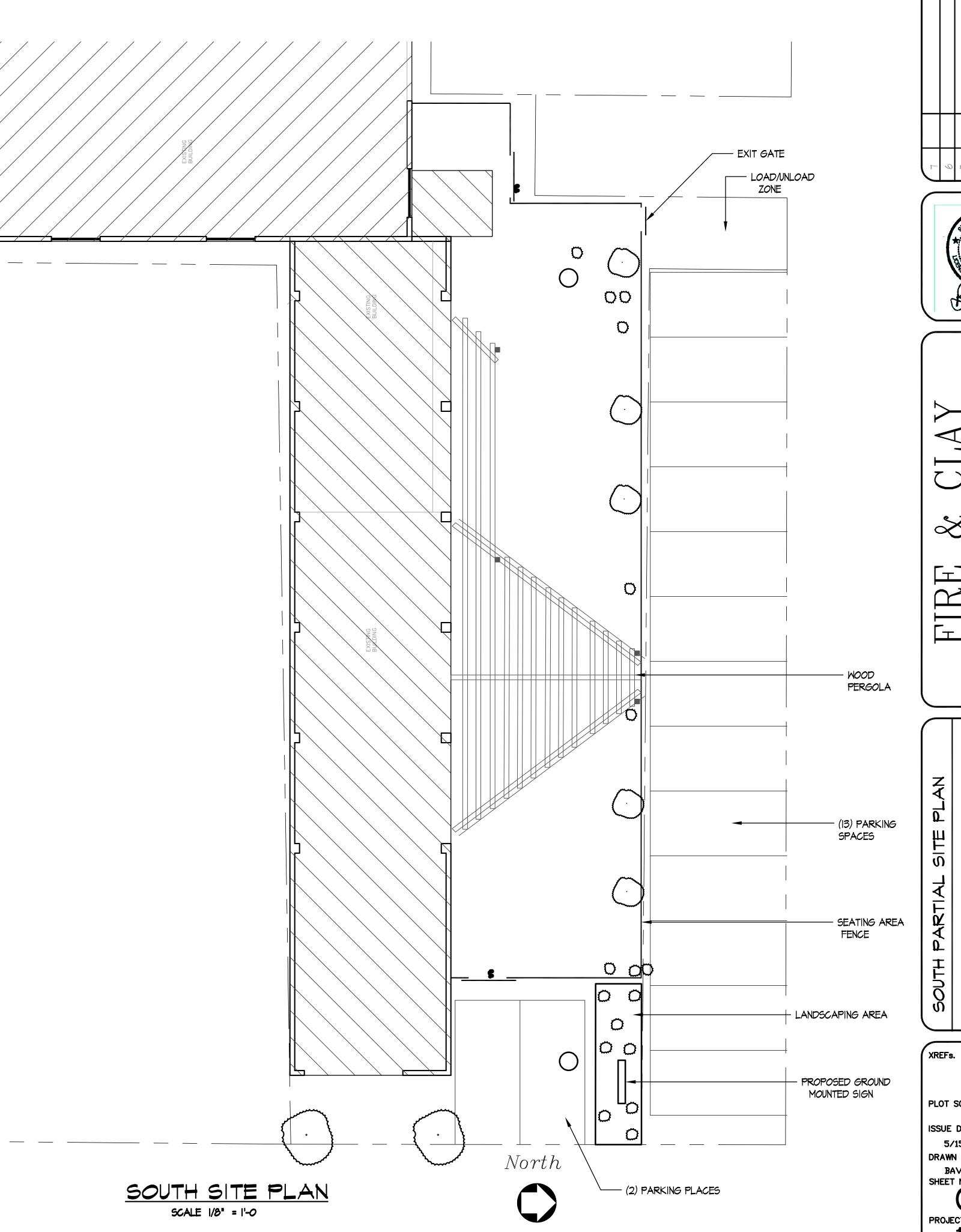
2. ESPELIER DARF BING CHERRY TREE 12-15' (ZONE 5-8) https://www.fast-growing-trees.com/products/bingcherry?variant=13940782858292

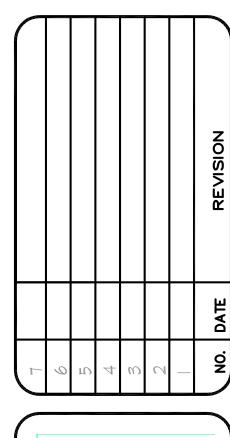
3. PHENOMENAL LAVENDAR PLANTS 3-5' (ZONE 5-9)

4. **ENDLESS SUMMER HYDRANGEAS** PLANTS 3-5' (ZONE 3-9)

### 5. **AMETHYST FALLS WISTERIA** VINE 20-30' (ZONE 5-9)

 $ucts/amethyst-falls-wisteria?variant=40075983519806\& region\_id=000023\& utm\_source=google\& utm\_medium=cpc\& utm\_campaign=CTC\%20/\%205hopping\%20/\%20pMax\%20/\%20Feed\%20Only\%20-\%20NB\%20-\%20CATCH\%20ALL\%20-\%203.1\& utm\_term=\& utm\_campaign\_id=19772930616\& utm\_ad\_group\_id=\& gad=1\& gclid=CjwKCAjwlJimBhAsEiwA1hrpSve8r10C6jdA4sAJsqK9hYXtGBp44mGQT6-L8vrdXHtzowygX3VlHRoCbo4QAvD\_BwE$ 







ENGINEER NO. 27251

AUGUSTON

CHIGAN

CHIGAN

FIRE & CLAY
AKE AND STILL HO

STIAL SITE PLAN

nder Weele
sign Consultants, P.C.

6330 Torrington \* Kalamazoo, Michigan 49009
(269) 372-7227
Fax: (269) 372-3964

SOUTH PARTIAL S

ander V

Design Consulto
(269) 372-72

PLOT SCALE

ISSUE DATE:

5/15/23

DRAWN BY:

BAV

SHEET NO.

C1.02

PROJECT NO.

10420

# ELECTRICAL SYMBOL LEGEND



#### **ELECTRICAL SPECIFICATIONS:**

- ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST ADOPTED EDITION OF THE NATIONAL ELECTRICAL CODE AND ALL AUTHORITIES HAVING JURISDICTION.
- 2. SECURE AND PAY FOR ALL PERMITS AND FEES.
- 3. SMITCHBOARDS, PANELBOARDS, AND MOTOR CONTROL CENTERS SHALL BE FIELD MARKED TO WARN QUALIFIED PERSONS OF POTENTIAL ARC FLASH HAZARDS. PROVIDE APPROPRIATE WARNING SIGNS PER NEC 110.16.
- 4. LISTED OR LABELED EQUIPMENT SHALL BE INSTALLED AND USED IN ACCORDANCE WITH ANY INSTRUCTIONS INCLUDED IN THE LISTING OR LABELING PER NEC 110.3(B). ELECTRICAL CONTRACTOR SHALL VERIFY ALL INSTALLATION REQUIREMENTS.
- 5. ELECTRICAL CONTRACTOR SHALL COORDINATE AND VERIFY THAT ALL OVERCURRENT PROTECTIVE DEVICES INTERRUPT RATINGS EXCEED AVAILABLE FAULT CURRENTS PER NEC 110.9.
- 6. ELECTRICAL CONTRACTOR SHALL COORDINATE AND VERIFY THAT ALL ELECTRICAL EQUIPMENT SHORT CIRCUIT RATINGS EXCEED AVAILABLE SHORT CIRCUIT CURRENT
- 7. ELECTRICAL CONTRACTOR SHALL COORDINATE AND VERIFY THAT WORKING AND DEDICATED EQUIPMENT SPACE REQUIREMENTS FOR ALL ELECTRICAL EQUIPMENT ARE MET PER NEC 110.26.
- 8. ALL BRANCH CIRCUITS ARE ASSUMED TO HAVE THREE OR LESS CURRENT CARRYING CONDUCTORS IN A RACEWAY OR CABLE. WHERE THE NUMBER OF CURRENT CARRYING CONDUCTORS IN A RACEWAY OR CABLE EXCEEDS THREE, THE ELECTRICAL CONTRACTOR SHALL APPLY ADJUSTMENT FACTORS PER NEC TABLE 310.15 (B)(2)(a).
- 9. ELECTRICAL CONTRACTOR SHALL COORDINATE WITH ALL OTHER TRADES FOR INSTALLATION OF ALL EQUIPMENT. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS.
- 10. ALL WIRING SHALL BE COPPER No. 12 AWG MINIMUM SIZE, TYPE THHN/THWN INSULATION. FOR ALL BRANCH CIRCUITS OVER 100 FEET LONG, CONDUCTOR SIZE SHALL BE No. 10 AWG MINIMUM SIZE.
- II. ALL WIRING SHALL BE INSTALLED IN A METALLIC CONDUIT SYSTEM UNLESS NOTED OTHERWISE ON THE DRAWING. ALL CONDUIT USED IN WET OR DAMP AREAS SHALL BE WATER TIGHT. PROVIDE FLEXIBLE METAL CONDUIT FOR CONNECTION TO ALL MOTORS. PROVIDE A SEPARATE EQUIPMENT GROUNDING CONDUCTOR WITH ALL FLEXIBLE METAL CONDUIT. MAXIMUM LENGTH OF FLEXIBLE METAL CONDUIT ALLOWED IS 2 FT. RUN ALL NEW CONDUIT CONCEALED WHERE POSSIBLE. WHERE EXISTING DOES NOT PERMIT CONCEALED, RUN EXPOSED. ALL CONDUIT RUN EXPOSED SHALL BE RUN SQUARE TO THE BUILDING AND PAINTED TO MATCH SURFACE MOUNTED ON.
- 12. MAXIMUM LOAD FOR A 20 AMP BRANCH CIRCUIT SHALL BE 15 AMPS OR 1800 VOLT-AMPS AT 120 VAC.
- 13. ALL WIRING RUN WITHIN RETURN AIR PLENUMS SHALL BE U.L. LISTED FOR SUCH USE.
- 14. ALL BRANCH CIRCUITS SHALL BE 20A, IP, C.B., (2)#12, #12 GND, 3/4"C UNLESS NOTED OTHERWISE. 1/2"C IS PERMITTED FOR SWITCH LEGS.
- TYPE, IVORY COLOR WITH STAINLESS STEEL COVER PLATES. PROVIDE 6FCI AND WEATHERPROOF TYPES WHERE SHOWN. VERIFY AND COORDINATE ALL POWER OUTLET TYPES AND LOCATIONS WITH OWNER PRIOR TO INSTALLATION.

15. ALL RECEPTACLES SHALL BE 20AMP., 125V., SPECIFICATION GRADE, GROUNDING

- 16. ALL LIGHT SMITCHES SHALL BE SILENT TYPE, SPECIFICATION GRADE, 20AMP., 27TV., IVORY COLOR WITH STAINLESS STEEL COVER PLATES. PROVIDE THREE WAY, FOUR WAY, AND DIMMER SWITCHES WHERE SHOWN.
- 17. PROVIDE SINGLE GANG BOX FOR TELEPHONE/COMPUTER OUTLETS. PROVIDE 3/4 INCH CONDUIT TO ABOVE SUSPENDED CEILING OR UP TO CEILING DECK. PROVIDE PULL MIKE AND TEFLON BUSHINGS.
- 18. PROVIDE TEFLON BUSHINGS ON ALL CONDUIT STUBS THROUGH WALLS AND ABOVE
- 19. MOUNT FIRE ALARM AUDIO/VISUAL DEVICES 80" A.F.F. MOUNT FIRE ALARM PULL STATIONS AT 48" A.F.F.
- 20. PROVIDE UPDATED TYPED PANEL INDEXES ON ALL ELECTRICAL PANELS.
- 21. PROVIDE SHOP DRAWINGS TO ARCHITECT FOR APPROVAL.
- 22. PROVIDE ELECTRICAL DEMOLITION AS REQUIRED. FIELD VERIFY EXTENT OF ELECTRICAL DEMOLITION.
- 23. WHERE CONDUIT RUNS ARE ABOVE EXISTING SUSPENDED CEILINGS, CEILING PADS AND GRID SHALL BE LEFT IN LIKE NEW CONDITION.

	PA	NEL SC	CHEDU	LE B	
CIRCUIT	Α'	C.B.	C.B.	В	CIRCUIT
1 Shop lights		20A, 1P	20A, 1P		2 stage area lights south
3 shop n wall outlets			20A, 1P		4 stage area lights north
5 shop east wall outlets			20A, 1P		6 bar area lights
7 rest room lights outlets		20A, 1P			8 special light stage
9 rr hall outlets lights		20A, 1P	20A, 1P		10 special light stage
11 stage west soutlets		20A, 1P	20A, 1P		12 special light stage
13 stage west north outlet	s	20A, 1P	20A, 1P		14 exterior lighting
15 bar outlets 1		20A, 1P	40A, 2P		16 water heater
17bar outlets 2		20A, 1P			18 water heater
19 bar outlets 3			20A, 1P		20 barrel storage lights
21 boiler room lights outle	ts		20A, 1P		22 barrel storage outlets
23 boiler and controls		20A, 1P	20A, 1P		24 exterior lights
25 exit lights		20A, 1P	20A, 1P		26 spare

							PANELB	3¢ 4	N	
	PAI	NEL SO	CHEDU	JLE B			400 AMP MB 120 / 208		_	FUTURE NO
		C.B.	C.B.	В	CIRCUIT		120 / 200			
pp lights		20A, 1P			2 stage area lights south					FUTURE NO
p n wall outlets		20A, 1P			4 stage area lights north			<del></del>	_	- TOTORL NC
p east wall outlets		20A, 1P			6 bar area lights					
room lights outlets		20A, 1P			8 special light stage					
all outlets lights		20A, 1P	20A, 1P		10 special light stage	PANELO				
age west soutlets		20A, 1P			12 special light stage					FUTURE NO
age west north outlets	;	20A, 1P			14 exterior lighting	200 AMP	_		_	<u> </u>
r outlets 1		20A, 1P	40A, 2P		16 water heater	MB				
outlets 2		20A, 1P			18 water heater	120 / 208				
r outlets 3		20A, 1P			20 barrel storage lights	120 / 200				
iler room lights outlets	S	20A, 1P	20A, 1P		22 barrel storage outlets					SPARE
iler and controls		20A, 1P			24 exterior lights				_	<b>O</b> 1711 <b>C</b>
it lights		20A, 1P	20A, 1P		26 spare					
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WATER TANK 1000L RESERVE

UTILITY

TRANSFORMER

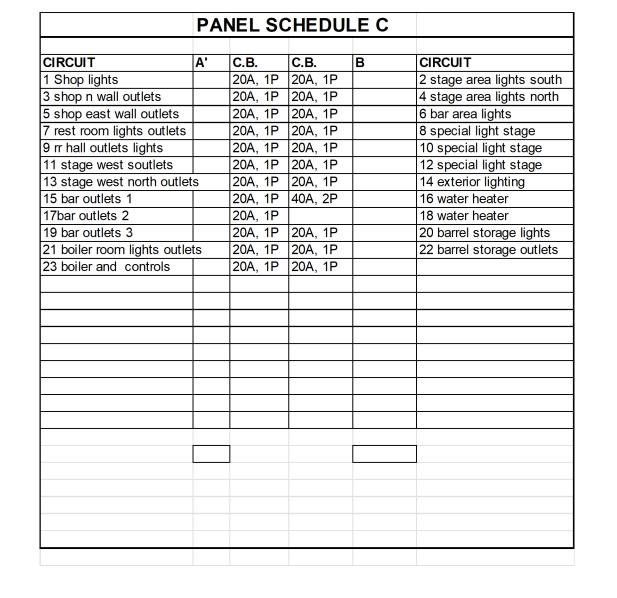
800 AMP

208 / 120

MAIN PANEL A

PANEL B —

MAIN



ELECTRICAL SCHEMATIC  $\approx$ 圧

FUTURE NORTH EXPANSION

FUTURE NORTH EXPANSION

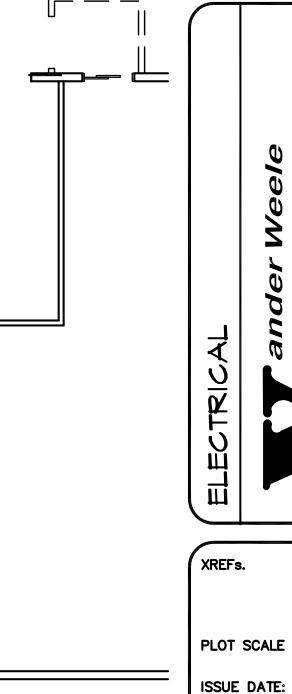
FUTURE NORTH EXPANSION

BRUCEA

**VANDER WEELE** 

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B



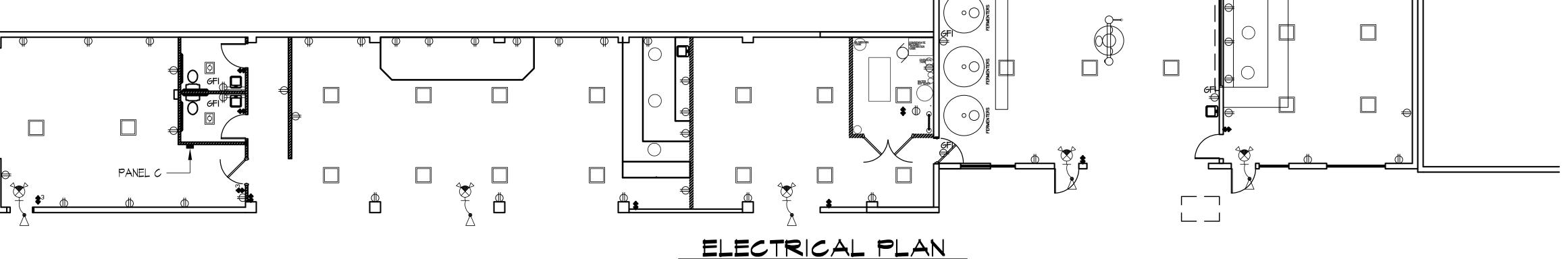
5/15/23

DRAWN BY:

SHEET NO.

PROJECT NO.

10420



SCALE 1/8" = 1'-0

## MECHANICAL SPECIFICATIONS

#### <u>GENERAL</u>

- I. CONTRACTOR IS RESPONSIBLE TO VISIT THE JOB SITE TO VERIFY EXISTING CONDITIONS THAT MAY AFFECT HIS BID.
- 2. CONTRACTOR IS RESPONSIBLE TO REVIEW AND CONFIRM EXISTING CONDITIONS AND COORDINATE WITH OTHER TRADES PRIOR TO INSTALLING OR FABRICATING NEW.
- 3. CONTRACTOR IS REQUIRED TO PROVIDE EQUIPMENT SUBMITTALS AND MATERIAL INFORMATION TO THE ENGINEER FOR REVIEW.
- 4. CONTRACTOR SHALL PAY FOR NECESSARY PERMITS, FEES, TAXES, AND APPROVALS FOR CONSTRUCTION.
- 5. CONTRACTOR SHALL REMOVE SALVAGE MATERIALS AND DEBRIS FROM THE SITE AND REPLACE OR REPAIR AREAS DAMAGED OR DISTURBED BY THE CONSTRUCTION.
- 6. CONTRACTOR SHALL COORDINATE UTILITIES AND SCHEDULE WORK TO AVOID DISRUPTION TO OWNER.
- 7. FOR TIE-INS TO EXISTING SYSTEM, EXISTING MUST BE EQUAL TO OR LARGER THAN NEW.
- 8. COORDINATE THERMOSTAT WITH ELECTRICAL. COORDINATE INSTALLATION OF WALL BOX AND CONDUIT.
- 9. COORDINATE DUCT-MOUNTED SMOKE DETECTOR WITH ELECTRICAL CONTRACTOR AND FIRE ALARM CONTRACTOR. SMOKE DETECTORS ARE PROVIDED BY E.C., INSTALLED INTO DUCT BY M.C., AND WIRED BY E.C., AND FIRE ALARM CONTRACTOR.
- IO. PATCH WALL, FLOOR AND CEILING PENETRATIONS TO MATCH EXISTING.
- II. PROVIDE AND INSTALL HANGERS AND SUPPORTS WHERE REQUIRED.
- 12. FIRE STOP WALL, FLOOR AND CEILING PENETRATIONS WHERE REQUIRED TO MAINTAIN FIRE SEPARATION INTEGRITY. USE U.L. LISTED MATERIAL.
- 13. PROVIDE 10 GAUGE SLEEVES AT MECHANICAL CHASES WHERE REQUIRED. INSTALL PER SMACNA STANDARDS.
- 14. M.C. IS RESPONSIBLE TO PROVIDE OWNER WITH COMPLETE SET OF INSTALLATION, OPERATION, AND MAINTENANCE MANUALS FOR MECHANICAL EQUIPMENT.
- 15. M.C. IS RESPONSIBLE TO ENSURE THAT THE HVAC SYSTEMS ARE FULLY OPERATIONAL AND THAT THE OWNER RECEIVES ADEQUATE TRAINING AND INSTRUCTION IN THE OPERATION AND MAINTENANCE OF THE SYSTEMS AND EQUIPMENT.
- 16. EQUIPMENT EQUALS OR SUBSTITUTIONS MUST BE SUBMITTED A MINIMUM OF 10 DAYS PRIOR TO BID DATE FOR REVIEW.

# MECHANICAL SPECIFICATIONS

#### DUCTWORK AND AIR DISTRIBUTION

- I. DUCTWORK SHALL BE FABRICATED AND INSTALLED PER SMACNA STANDARDS AND THE MICHIGAN MECHANICAL CODE.
- 2. DUCT DIMENSIONS SHOWN ARE INSIDE FREE AREA. DUCTS INSTALLED DIFFERENT THAN SIZES SHOWN SHALL HAVE THE SAME OR GREATER EQUIVALENT DUCT SIZE.
- 3. PROVIDE DUCT TRANSITIONS AND FITTINGS AS REQUIRED. SEAL JOINTS WITH HARDCAST
- 4. PROVIDE VOLUME CONTROL DAMPERS IN SUPPLY, AND EXHAUST BRANCH DUCTS.

IRON GRIP 601, SURE GRIP 404, OR OTHER APPROVED SEALANT.

- ROUND DUCTWORK AND RADIUS RECTANGULAR ELBOWS MUST HAVE MINIMUM CENTERLINE RADIUS OF 1.5 TIMES THE DUCT DIAMETER.
- 6. PROVIDE SINGLE THICKNESS TURNING VANES IN ALL RECTANGULAR 90 DEGREE ELBOWS. MAX. LENGTH FOR A SINGLE SECTION OF VANES IS 24" LONG.
- 7. COORDINATE DUCTWORK LOCATIONS WITH EXISTING STRUCTURE, OTHER DUCTWORK, PLUMBING, LIGHT FIXTURES, CONDUIT, SPRINKLERS, AND EQUIPMENT.
- 8. EXPOSED SPIRAL DUCTWORK IN FINISHED SPACES SHALL BE OIL-FREE ("PAINTGRIP") AND SUITABLE FOR PRIMING AND PAINTING.
- 9. COORDINATE COLOR OF GRILLES, REGISTERS, DIFFUSERS, AND LOUVERS WITH BOTH ARCHITECT AND OWNER PRIOR TO ORDERING EQUIPMENT.
- IO. INSULATE SUPPLY, RETURN, AND OUTSIDE AIR DUCTWORK ABOVE DROP CEILING WITH 1-1/2" THICK 0.75 PCF DENSITY FIBERGLASS INSULATION WITH VAPOR BARRIER. TAPE AND SEAL SEAMS, CUTOUTS, AND PENETRATIONS. INSULATE THE NECKS AND TOPS OF ALL SUPPLY AIR REGISTERS AND DIFFUSERS.
- II. INSULATE OUTDOOR DUCTWORK WITH (2) LAYERS OF 3/4" FLEXIBLE ELASTOMERIC INSULATION. WRAP WITH ALUMINUM JACKETING OR FLEX-CLAD 400, SEAL WATER TIGHT.
- 12. ISOLATE AIR MOVING EQUIPMENT WITH SPRING OR NEOPRENE HANGING VIBRATION ISOLATORS AND WITH FLEXIBLE CANVAS CONNECTIONS TO DUCTWORK.
- 13. MAXIMUM 5'-O" FLEX DUCT TO DIFFUSERS.
- 14. DIFFUSERS AND GRILLES THAT ARE NOT LAY-IN STYLE BUT INSTALLED IN A LAY-IN CEILING GRID SHALL BE MOUNTED TO RIGID SHEET METAL DUCTWORK NOT TO LAY-IN CEILING TILES.
- 15. COORDINATE REGISTER, GRILLE, AND DIFFUSER LOCATIONS WITH THE REFLECTED CEILING PLAN AND CENTER GRILLES AND DIFFUSERS IN CEILING TILES.
- 16. BRANCH DUCTS TO DIFFUSERS AND GRILLES ARE SAME SIZE AS DIFFUSER OR GRILLE NECK SIZE UNLESS OTHERWISE INDICATED. PROVIDE TRANSITIONS AS REQUIRED.
- 17. TEST AND BALANCE AIR DISTRIBUTION SYSTEM WITHIN 10% OF CFM INDICATED ON DRAWINGS.

	MECHANICAL SY	MB0L	LEGEND
SAG	SUPPLY AIR GRILLE	0A	OUTSIDE AIR
RAG	RETURN AIR <i>G</i> RILLE	<i>O</i> ED	OPEN ENDED DUCT
SAD	SUPPLY AIR DIFFUSER	EG	EXHAUST AIR GRILLE
RTU	ROOF TOP UNIT	Θ	THERMOSTAT - MOUNT 48" A.F.F.
	DUCT MOUNTED SMOKE DETECTOR		VOLUME CONTROL DAMPER
$\boxtimes$	SUPPLY AIR DIFFUSER	<b>—</b>	FIRE DAMPER
	RETURN AIR GRILLE	Ø	DIAMETER
		<u> </u>	DUCT DROP

		SP	LIT SY	STE	M AI	IR CO	ONDIT	TONING	UNIT	SCHEDULE	Ξ				
MADIC #	MANUEACTIOED	MODEL #	CFM		SP	H.P.	HEATING MBH	COOLING	COIL	CONDENSOR		ELECTRICAL	-		NOTES
MARK #	MARK #   MANUFACTURER	MODEL #	CEM		)	п.Р.	INPUT	MODEL	MBH	MODEL	FLA.	٧	?	HZ	NOTES
FI & AC-I	CARRIER	59TP6A80E2I	2000		0.5	1.0	78	CNPV	56.6	24ABB	21.4	208 / 230	3	60	A, B & C

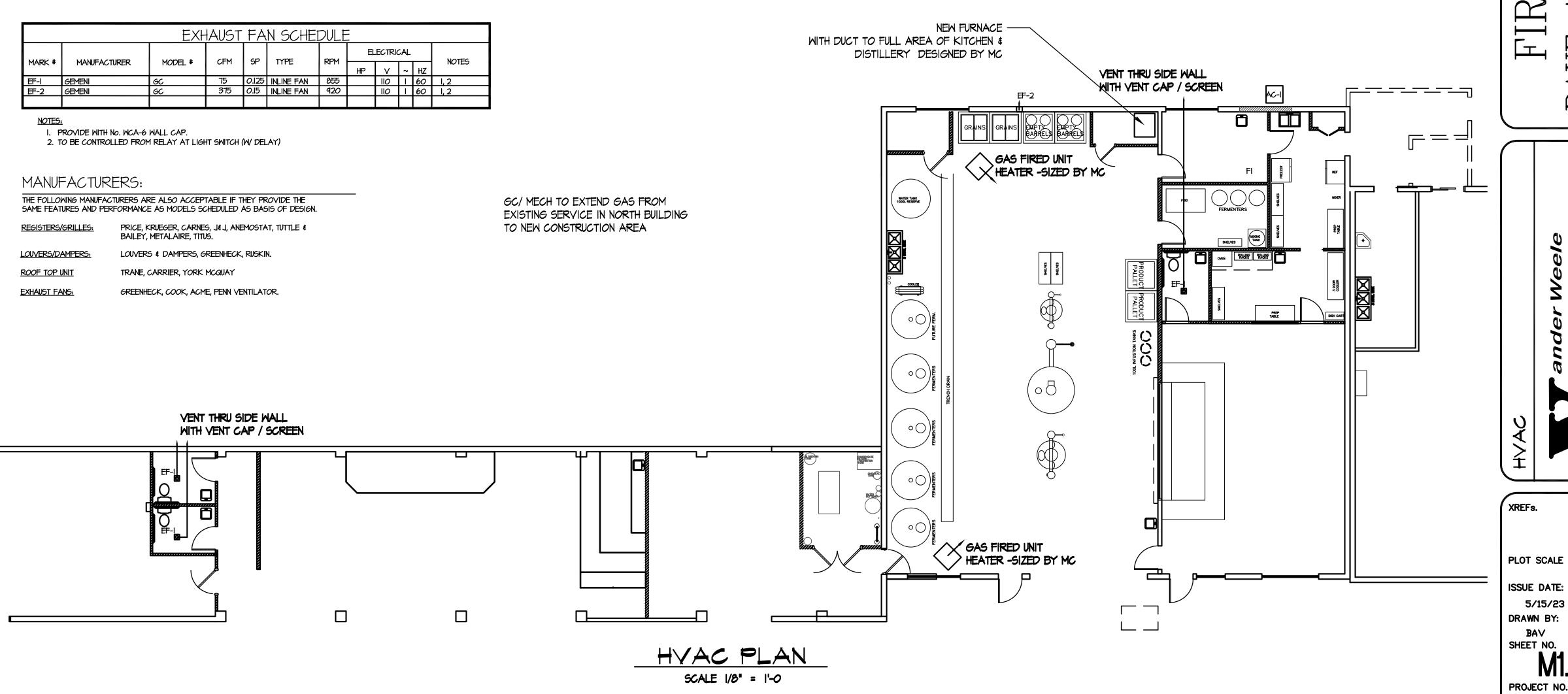
\*\* MAXIMUM CIRCUIT BREAKER SIZE \* MINIMUM CIRCUIT CAPACITY

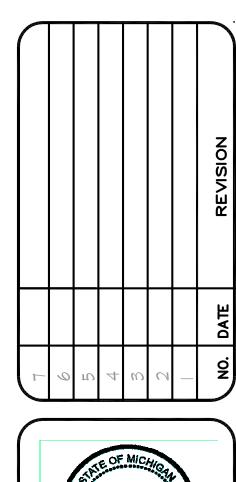
A. PROVIDE WITH ELECTRONIC PROGRAMMABLE 7-DAY THERMOSTAT

B. DESIGN BY MC, INCLUDING SUPPLY AND RETURN DUCTS, FOR NORTH PORTION INCL OFFICE BREWERY,

REGISTER GRILLE & DIFFUSER SCHEDULE										
MARK #	MANUFACTURER	MODEL #	SIZE	NECK SIZE	APPLICATION	CFM	DAMPER	NOTES		
SAD -I	TITUS	TMSA	24 x 24	6"	SUPPLY AIR	60 - 100	YES	l, 2		
SAD-2	TITUS	TMSA	24 x 24	8"	SUPPLY AIR	100 - 250	YE5	l, 2		
SAR-I	TITUS	300RL w/ 0BD	4 x 10		SUPPLY AIR	100	YES	2		
RAG-I	TITUS	50F	24"XI2"		RETURN	600	NO	2, 3		
RAG-2	TITUS	50F	24"x24"		RETURN	1200	NO	2, 3		
L-I	TITUS	RYSKIN ELF3750	l6"xl2"		EXT LOUVER	670	NO	2, 3		

- I. DOUBLE DEFLECTION, INCLUDE OPPOSED BLADE DAMPER.
- 2. STANDARD WHITE FINISH (CONFIRM WITH ARCHITECT).
- 3. I/2"XI/2"XI/2" *G*RID.







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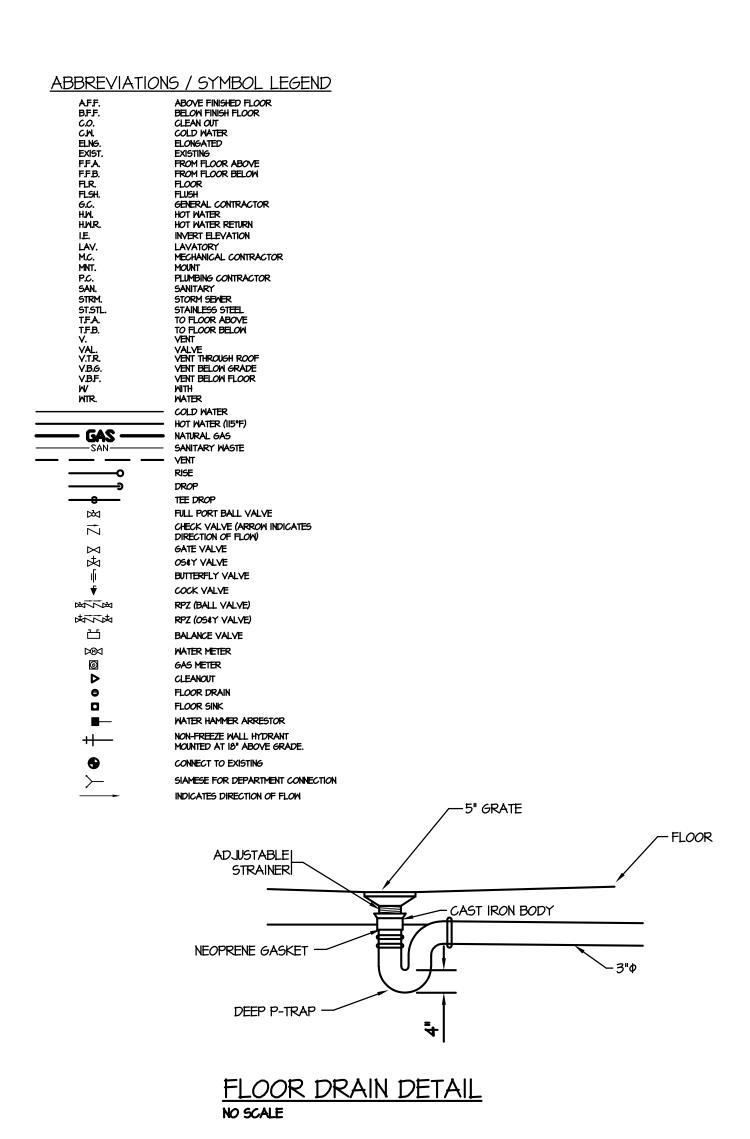
DRAWN BY: SHEET NO. PROJECT NO. 10420

SSUE DATE:

5/15/23

#### PLUMBING GENERAL SPECIFICATIONS:

- I. CONTRACTOR IS RESPONSIBLE TO VERIFY EXISTING CONDITIONS RELATING TO WORK
- 2. CONTRACTOR SHALL PAY FOR ALL NECESSARY PERMITS, FEES, TAXES AND APPROVALS FOR CONSTRUCTION.
- 3. CONTRACTOR'S WORK SHALL COMPLY WITH ALL LOCAL, STATE, NATIONAL CODES AND ORDINANCES THAT APPLY.
- 4. COORDINATE WITH G.C. THE RESPONSIBILITY OF CUTTING AND PATCHING ALL WALL, FLOOR AND CEILING PENETRATIONS TO MATCH EXISTING.
- 5. PROVIDE HANGERS AND SUPPORTS AS REQUIRED BY CODE.
- FIRE/SMOKE STOP ALL WALL, FLOOR AND CEILING PENETRATIONS WHERE REQUIRED TO MAINTAIN FIRE/SMOKE SEPARATION AND WALL INTEGRITY. USE U.L. LISTED MATERIAL.
- 7. CONTRACTOR SHALL REMOVE ALL SALVAGE MATERIALS AND DEBRIS FROM THE SITE AND REPLACE OR REPAIR ALL AREAS DAMAGED OR DISTURBED BY THE CONSTRUCTION.
- 8. ALL EQUIPMENT, PIPING AND FIXTURES SHALL BE INSTALLED PER CODE AND LOCAL AUTHORITY HAVING JURISDICTION.
- 9. ALL GAS PIPING SHALL BE SCHEDULE 40 BLACK STEEL ASTM A53/120. SCREWED PIPE AND FITTINGS FOR 2" PIPE AND SMALLER. WELDED PIPE AND FITTINGS FOR 2 1/2" PIPE AND LARGER. PIPING AT .5 PSI AND HIGHER SHALL BE WELDED WITHIN THE STRUCTURE. CONCEAL ALL PIPE IN FINISHED AREAS PER CODE.
- 10. PROVIDE INDIVIDUAL GAS SHUTOFF, UNION AND DIRT LEG AT EACH GAS FIRED PIECE OF
- II. DOMESTIC HOT AND COLD WATER PIPING SHALL BE PEX.
- 12. PROVIDE TRAPPED CONDENSATE AT EACH COOLING COIL AND CONDENSING TYPE EQUIPMENT. INSTALL PIPING TO NEAREST FLOOR DRAIN. USE COPPER PIPING TYPE 'M'.
- 13. SANITARY WASTE, VENT AND STORM PIPING SHALL BE SCHEDULE 40 PVC, ASTM D2665.
- 14. SLOPE ALL SANITARY WASTE PIPING 1/8" PER FOOT WHERE POSSIBLE AND A MINIMUM OF I/8" PER FOOT.
- 15. PROVIDE STRAINER ASSEMBLY, P-TRAPS, ANGLE STOPS AND CHROME PLATED WALL ESCUTCHEONS AT EACH PLUMBING FIXTURE.
- 16. CAULK EACH PLUMBING FIXTURE BETWEEN WALLS AND FLOORS WITH WHITE SILICONE RUBBER SEALANT.
- 17. SEE ARCHITECTURAL DRAWINGS FOR FIXTURE MOUNTING HEIGHTS.
- 18. PROVIDE CHROME PLATED CLEANOUT COVER ON ALL WALL CLEANOUTS.
- 19. PROVIDE POLISHED BRONZE CLEANOUT COVERS ON ALL FLOOR CLEANOUTS WHERE
- 20. PROVIDE SHOCK ABSORBERS ON ALL WATER SUPPLY WHERE REQUIRED. SHOCK ABSORBERS SHALL BE IN ACCORDANCE WITH PDI AND ASSE-IOIO STANDARDS. SHOCK ABSORBERS SHALL BE AMTROL, SIZE 'B'. PROVIDE FULL PORT LINE SIZE BALL VALVE BETWEEN TEE AND SHOCK ABSORBER.
- 21. PROVIDE CLEANOUTS AT THE BASE OF ALL RISERS.
- 22. ALL NEW HOT AND COLD WATER LINES SHALL BE SANITIZED PER 2003 MI PLUMBING CODE, SECTION 610.1 OR LOCAL WATER DEPARTMENT REQUIREMENTS. FLUSH AND TEST SYSTEM FOR LEAKS. PLUMBING CONTRACTOR IS RESPONSIBLE FOR THE PROPER AND LEAK FREE OPERATION OF THE SYSTEM.
- 23. PROVIDE DI-ELECTRIC FITTINGS WHERE ANY DISSIMILAR METALS ARE CONNECTED.
- 24. DISTRIBUTE HOT AND COLD WATER PIPING AS REQUIRED TO MEET MINIMUM CONNECTED SIZE REQUIREMENTS.



SANT CL & VTR -

WALL HUNG

ELECTRIC

4"Φ SANITARY -----

FROM CITY

WATER HEATER

			PLUMBING FI	XIU	KE	SCHE	
MARK	TYPE	MFGR.	MODEL #	CM	ΗW	WASTE	NOTES
P-I	WHITE SEAT	BEMIS	1055990				ELONGATED OPEN FRONT SEAT W/ SELF SUSTAINING CHECK HINGE - WHITE
	TOILET, FLR MT L	KOLHER	4198-0 WHITE BOWL / 4468-0 1.6 GPF WHITE TANK	1/2"¢		3"¢	
P-2	WHITE SEAT	BEMIS	1055550				ELONGATED OPEN FRONT SEAT W/ SELF SUSTAINING CHECK HINGE - WHITE
	TOILET, FLR MT L	KOLHER	4199-0 WHITE BOWL / 4468-0 1.6 GPF WHITE TANK	1/2"¢		<b>3</b> "ゆ	
P-3	URINAL, WALL HUNG	KOLHER	4991-ET-O TOP MOUNT URINAL WHITE	Ι/2"Φ		2"Φ	SLOAN 3082675 186-IXL 1.0 GAL URINAL FLUSH VALVE
P-4	20x17 OVAL WHITE LAV	KOLHER	2005-0	Ι/2"Φ	Ι/2"Φ	Ι Ι/2"Φ	KOHLER 15199-F-CP CHROME FAUCET / WATTS LFUSG-B M2 MIXING VALVE
P-5	21x18 WHITE WALL LAV	KOHLER	EZS-8	1/2"¢		Ι Ι/2"Φ	KOHLER 15199-F-CP CHROME FAUCET / WATTS LFUSG-B M2 MIXING VALVE
P-6	SELF RIM SINK	ELKAY	CR3322	Ι/2"Φ	Ι/2"Φ	Ι Ι/2"Φ	3 HOLE SELF RIM, KOHLER 15160-CP KITCH FCT.
P-7	MOP SINK	ACORN	TNC-24-5H-KD63-TF2- 24"x24" x  2"	Ι/2"Φ	Ι/2"Φ	2"φ	CHICAGO FAUCET 897MPRCF S/ 369 HANDLES
P-8	UTILITY LAUNDRY SINK	MUSTEE	IBFT W LEGS	Ι/2"Φ	1/2"Φ	2"Φ	KOHLER 15271 -4-CP CPRALAIS SPOUT CHROME FAUCET SP3512 120V/3.5KV EEMAX SP3512 120V/3.5KW POINT OF USE WATE HEATER
P-9	FLOOR DRAIN	JRS	2005Y 2 NH BODY & COLLAR ASSY W/ I/2 TRAP PRIMER	Ι/2"Φ		3"¢	JRS A05NB 5" DIA. FLOOR DRAIN / 2692-02 TRAP SEAL
P-10	BOILER / WATER HEATER COMB						DESIGN BY MECH, INCLUDING HOT WATER SUPPLY-

- PROVIDE ALL FIXTURES WITH CHROME ESCUTCHEONS AT WALL

- W.C., AND LAVATORY COLOR - WHITE

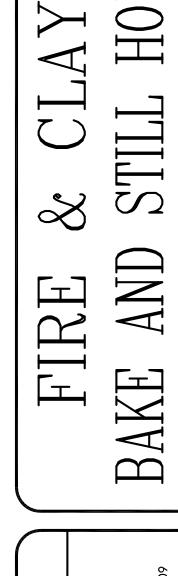
- PROVIDE CARRIERS FOR ALL WALL HUNG FIXTURES. - PROVIDE TRUBRO "LAYGARD" INSULATION ON LAVATORY TRAP & SUPPLY PIPING.

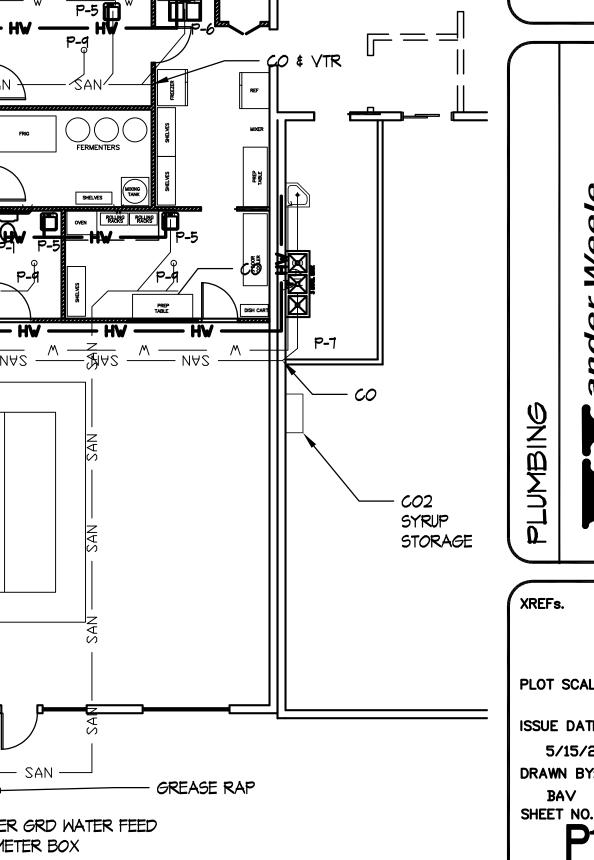
- PROVIDE ALL LAVATORIES WITH A TEMPERED WATER CONTROL VALVE THAT

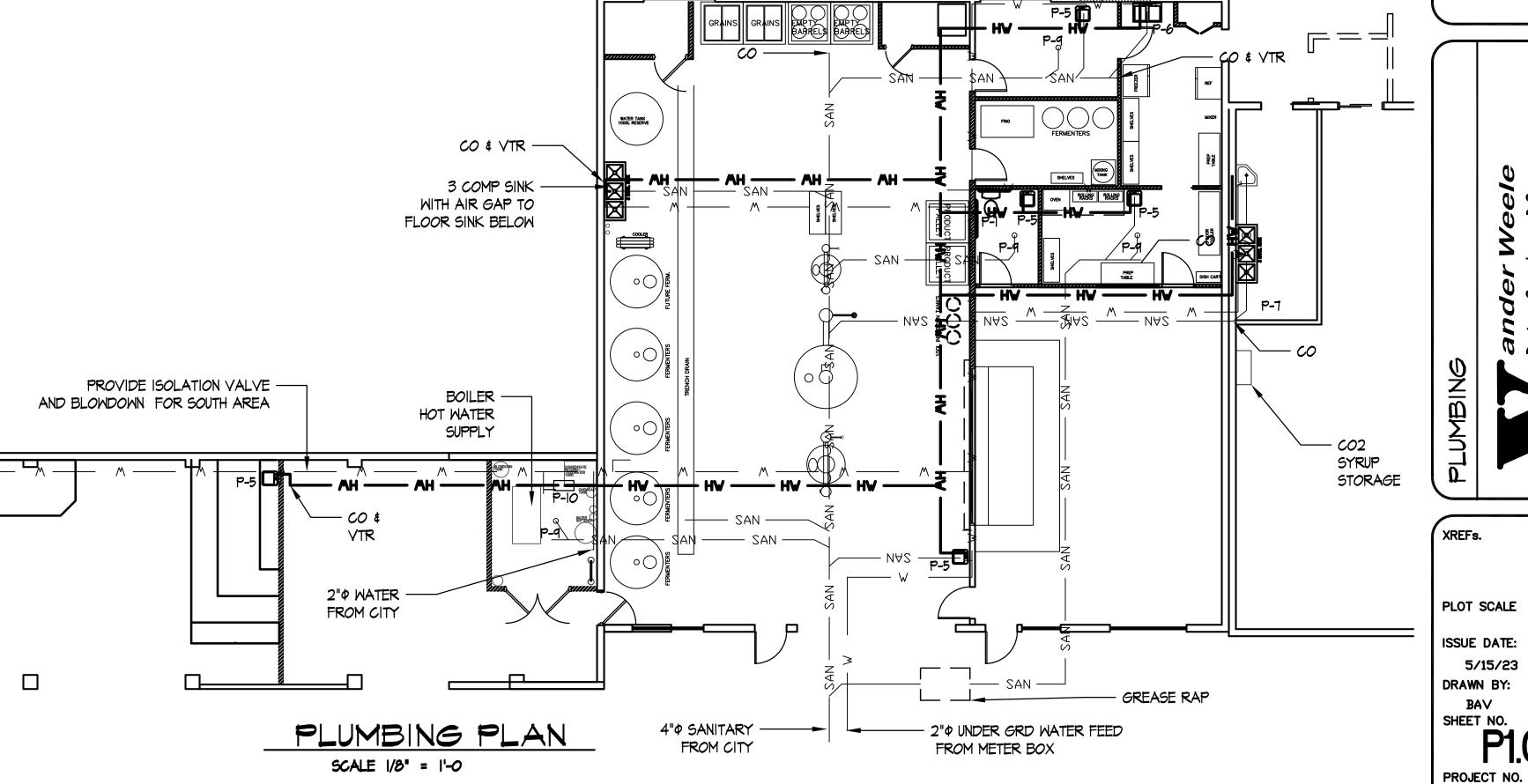
MEETS ASSE 1016 STANDARDS. (CONBRACO, MODEL 34B-103-01)



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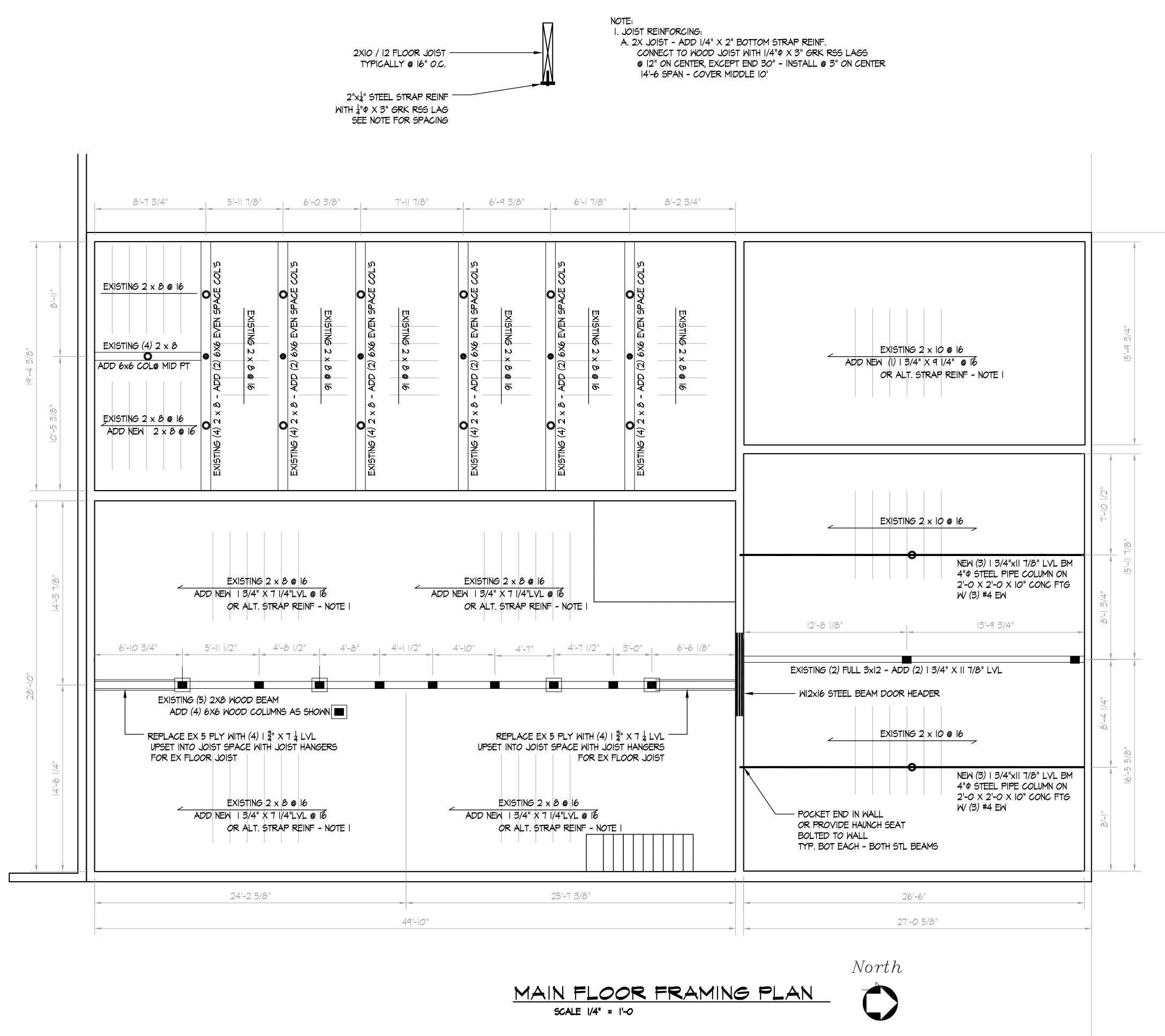


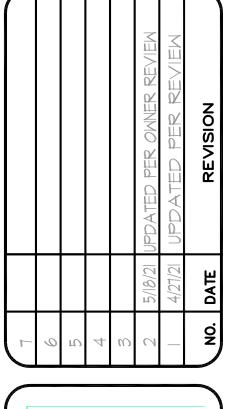




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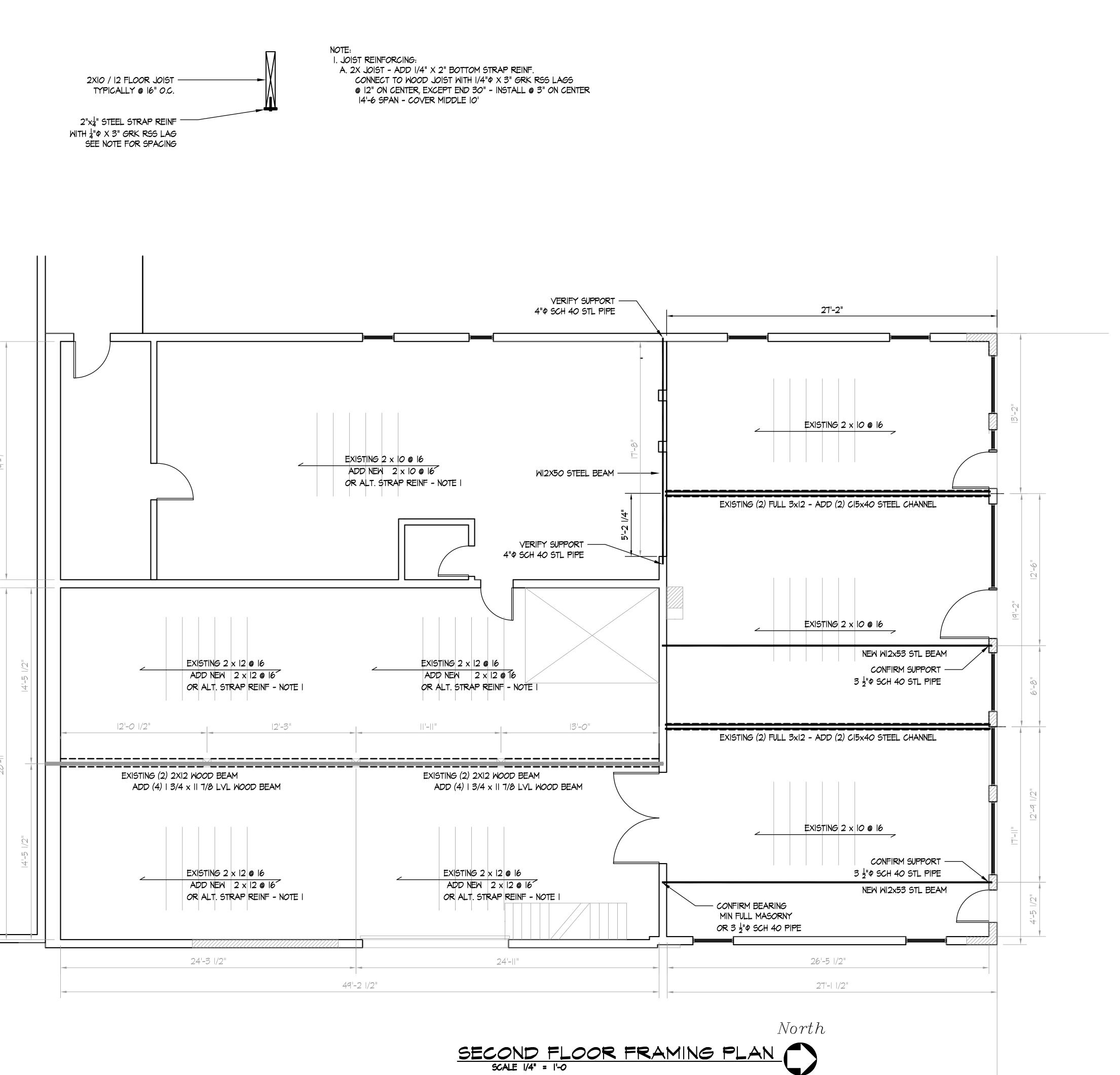


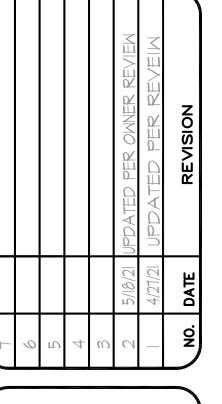
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PLOT SCALE ISSUE DATE: 3/26/21 DRAWN BY: SHEET NO. **S1.01** PROJECT NO. 10420







& CLAY
STILL HOUSE

FIRE & BAKE AND ST

SECOND FLOOR FRAMING FRONT

ander Weele

Design Consultants, P.C.

6330 Torrington \* Kalamazoo, Michigan 49009
(269) 372-7227

e mail.. bvanderweele@vanderweele.com

PLOT SCALE

ISSUE DATE:

3/26/21

DRAWN BY:

BAV

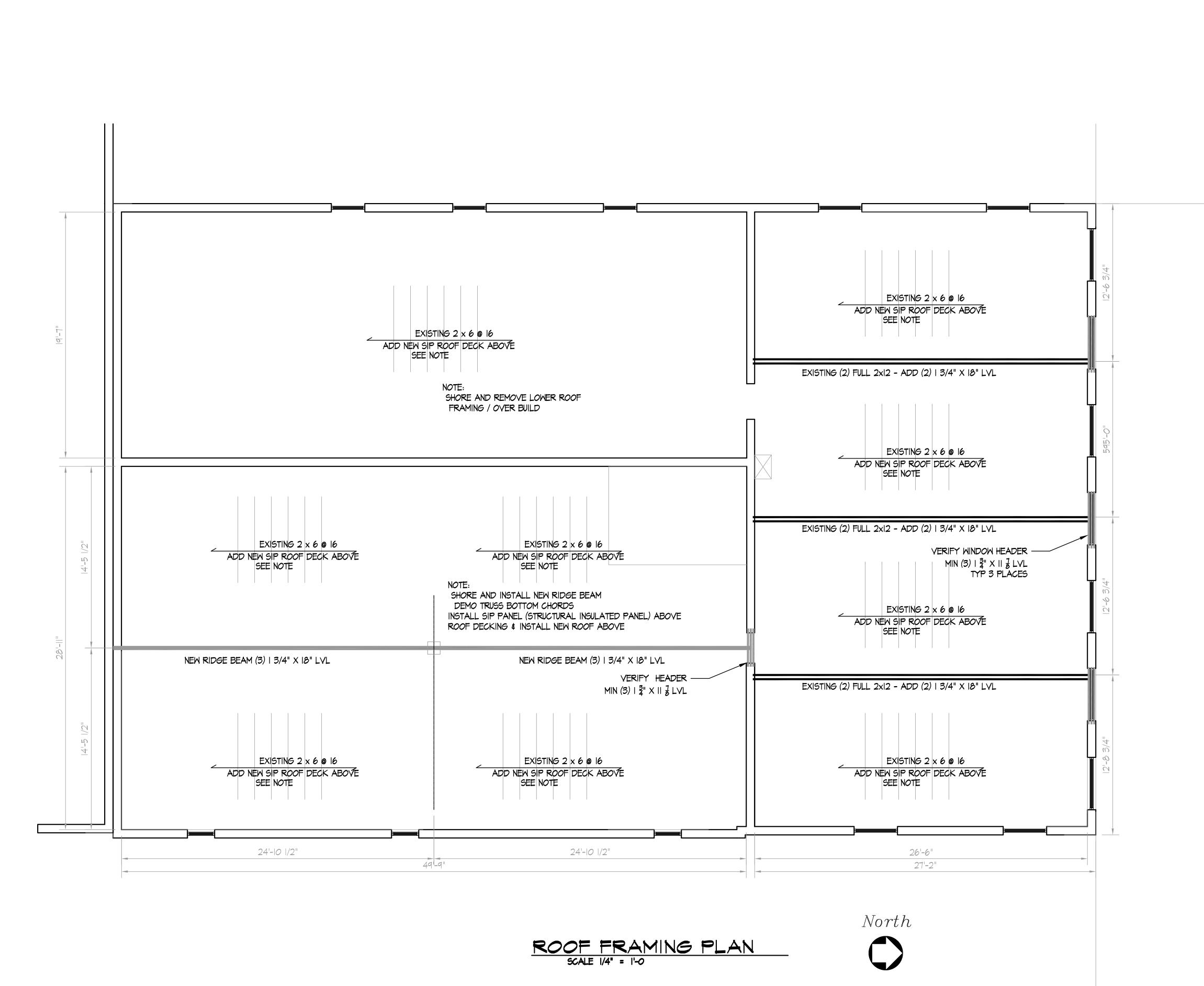
SHEET NO.

\$1.02

PROJECT NO.

10420

XREFs.





ROOF FRAMING FRONT

ander Weele

Design Consultants, P.C.

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XREFs.

PLOT SCALE

ISSUE DATE:
3/26/21

DRAWN BY:

DRAWN BY:

BAV
SHEET NO.

S1.03
PROJECT NO.

10420

# MINUTES Plainwell City Council July 24, 2023

- 1. Mayor Keeler called the regular meeting to order at 7:00 PM in City Hall Council Chambers.
- 2. Scott Smail of Lighthouse Baptist Church gave the invocation.
- 3. Pledge of Allegiance was given by all present.
- 4. Roll Call: Present: Mayor Keeler, Mayor Pro-Tem Steele, Councilmember Overhuel, Councilmember Wisnaski and Councilmember Keeney.
- 5. Approval of Minutes:

A motion by Steele, seconded by Overhuel, to accept and place on file the Council Minutes of the July 10, 2023 regular meeting. On a voice vote, all voted in favor. Motion passed.

- 6. Public Comment: John Spencer, a representative for House Republican Leader Matt Hall, introduced himself to Council and provided his contact information.
- 7. County Commissioner Report: County Commissioner Dugan shared that Allegan County's death rate is comparable to other counties, citing a recent medical examiner's report. He stated that there is discussion concerning aggregate and mineral rights on City owned property, as the State of Michigan is looking to acquire these rights from local communities. He provided an update on the Allegan County Courthouse remodel, stating that there were no funds available at this time. He said that there are currently two visiting Judges coming to the Courthouse and providing support. He gave an update on the Allegan County Sheriff Department body cams, and shared that Plainwell has received matching funds for a water/sewer project. He spoke about power generated by Calkins Dam in Allegan, and the hope to relicense it for continued use by the City of Allegan.
- City Clerk Leonard reported no changes to the Agenda.
   A motion by Steele, seconded by Overhuel, to approve the Agenda for the July 24, 2023 meeting as presented. On a voice vote, all voted in favor. Motion passed.
- 9. Mayor's Report: None.
- 10. Recommendations and Reports:
  - A. City Manager Lakamper provided an update on the curbside recycling and bulk trash removal services. Further research indicated that a special tax assessment district was unnecessary.
    A motion by Keeney, seconded by Steele, to approve Resolution 2023-25 establishing fees for monthly

A motion by Keeney, seconded by Steele, to approve Resolution 2023-25 establishing fees for monthly curbside recycling and semi-annual bulk trash pickups to be collected on the 2023 Winter Tax Bill. On a roll call vote, all in favor. Motion passed.

- B. Water Renewal Superintendent Pond discussed the annual purchase of chlorine and sulfur gas necessary for Plant operation.
  - A motion by Wisnaski, seconded by Keeney, to approve the annual purchase of chlorine and sulfur gas from Haviland Products for \$14,600.00. On a roll call vote, all voted in favor. Motion passed.

C. Water Renewal Superintendent Pond discussed the annual purchase of ferric chloride necessary for Plant operation.

A motion by Keeney, seconded by Overhuel, to approve the annual purchase of ferric chloride from Webb Chemical for \$46,436.00. On a roll call vote, all voted in favor. Motion passed.

D. Water Renewal Superintendent Pond discussed the annual purchase of polymer necessary for Plant operation.

A motion by Overhuel, seconded by Wisnaski, to approve the annual purchase of polymer from WaterSolve LLC for \$8,800.00. On a roll call vote, all voted in favor. Motion passed.

E. City Manager Lakamper discussed a request from Profielnorm USA for a topographical survey of the lot at 830 Miller Rd. This survey is in addition to previously requested survey work.
A motion by Wisnaski, seconded by Keeney, to approve the Professional Services Agreement with Fleis & Vandenbrink Engineering for \$9,800.00 for survey work at 830 Miller Road as part of the land sale to Profielnorm USA. On a roll call vote, all voted in favor. Motion passed.

#### 11. Communications:

A motion by Steele, seconded by Overhuel, to accept and place on file the June 2023 Department of Public Safety and Water Renewal Reports, the draft June 15, 2023 Parks & Trees Meeting Minutes and the draft July 11, 2023 DDA/BRA/TIFA Meeting Minutes. On a voice vote, all voted in favor. Motion passed.

12. Accounts Payable:

A motion by Keeney, seconded by Wisnaski, that the bills be allowed and orders drawn in the amount of \$523,479.58 for payment of same. On a roll call vote, all voted in favor. Motion passed.

- 13. Public Comments: None
- 14. Staff Comments:

Finance Director Kelley shared that he is working on the end of the year audit.

Superintendent Nieuwenhuis stated that the bridge is curing. The next step, epoxy and stone chips, will be happening soon.

Community Development Manager Siegel reported that an extension has been granted for the dam project, which has been delayed by lack of access to the property for testing purposes. She shared that the rental rehab project at Perfect Image Salon is complete and all apartments have tenants. She stated the Planning Commission has reviewed a site plan provided by Holiday Inn. There will be a Public Hearing in August concerning the Master Plan.

Water Renewal Superintendent Bryan Pond said that a recent surface water PFAS test came back well within limits.

Public Safety Director Callahan stated that the new Rescue 1 boat is here, and the department is happy with the purchase.

City Manager Lakamper discussed the lead abatement project, stating the closing of the EGLE loan has been extended by 6 months. The company providing the lead abatement service is looking to adjust their process, and work has stopped for now. He discussed the dam project, stating that we need access to do construction work. He shared that while the dam located at City Hall is fine, the trestle bridge has been deemed a potential barrier to fish migration. The City may need to consider removal of the trestle bridge. He provided an RFQ update.

- 15. Council Comments: Councilmember Overhuel thanked everyone for coming and congratulated Finance Director Kelley on his grandson and Superintendent Nieuwenhuis on his daughter's wrestling victory. Mayor Pro-Tem Steele also congratulated Superintendent Nieuwenhuis and his daughter.
- 16. Adjournment:

A motion by Steele, seconded by Keeney, to adjourn the meeting at 7:49 PM. On a voice vote, all voted in favor. Motion passed.

Minutes respectfully submitted by, Ginger J Leonard City Clerk MINUTES APPROVED BY CITY COUNCIL August 14, 2023

Ginger J Leonard City Clerk